



Belton Chamber Community Update

APRIL 12, 2023

SAM A. LISTI, CITY MANAGER

BELTON POPULATION GROWTH

1900 → 3,700
1950 → 6,246
1960 → 8,163
1970 → 8,696
1980 → 10,660
1990 → 12,476
2000 → 14,623
2010 → 18,216 (+25%)
2020 → 24,610 (+35%)
2023 → 25,466 (+74%, 2000)

2030 → 35,000
2040 → 55,000
2050 → 72,000



- ❑ Maintained City operations with a balanced budget, reduced tax rate to \$0.5850 from \$0.6300
- ❑ Enhanced Customer Service Delivery
- ❑ Adopted Short Term Rental Ordinance
- ❑ Expanded Water Treatment Capacity at BCWCID #1 Water Plant for future
- ❑ Implementing PD, FD, Parks, and Library Strategic Plans
- ❑ Implemented Compensation Study for city employees, effective 04/01/22

RECENT CITY ACHIEVEMENTS



Allocation of Federal COVID-19 ARPA Funds

- Total \$5.65M provided to Belton as Revenue Replacement for Belton Residents
- Funds allocated by City Council on 03/22/22
- Fund Distribution Categories:
 - \$1.5M: Street Infrastructure
 - \$1.2M: Implement Employee Compensation Plan (PD/FD)
 - \$900K: Belton Standpipe Hazard Mitigation & Neighborhood Park/Matched with TxP&W grant (\$750,000)
 - \$850K: Small Business Support Grants up to \$15,240 each (59 Recipients)
 - \$500K: Neighborhood Revitalization, including Historic Preservation of Mt. Zion Church/Reduced to \$300K with approved grants totaling \$175K
 - \$400K: Direct Aid to Belton Residents
 - \$100K: Retire delinquent City Utility Bills for City Customers
 - \$300K: Grant program through UWCT – rent, utilities, HOP
 - \$300K: Nutrition and Food Assistance Grants through Helping Hands, Senior Center, Meals on Wheels, UMHB Food Pantry



KEY GRANTS – SPECIAL FUNDING: 2021-2023

- Federal EDA Grant Rockwool Superfund Site Utilities: \$2.0M
- Federal Earmark for PD Equipment: \$374K
- TxDOT Grant for 13th Avenue Sidewalk Replacement: \$338,889
- TDHCA Rehab (Replacement) Grants for 2 Homes at 1205 N. Beal and 610 E. 9th: \$285K
- Preservation Texas for Mt. Zion Church Preservation: \$75K
- National Trust for Mt. Zion Church Preservation: \$100K
- Federal Earmark for E. Central/Spring Street Bridge Replacement: \$5.0M
- TxP&W Grant for Standpipe Park \$750K



BEDC Funded Infrastructure Projects

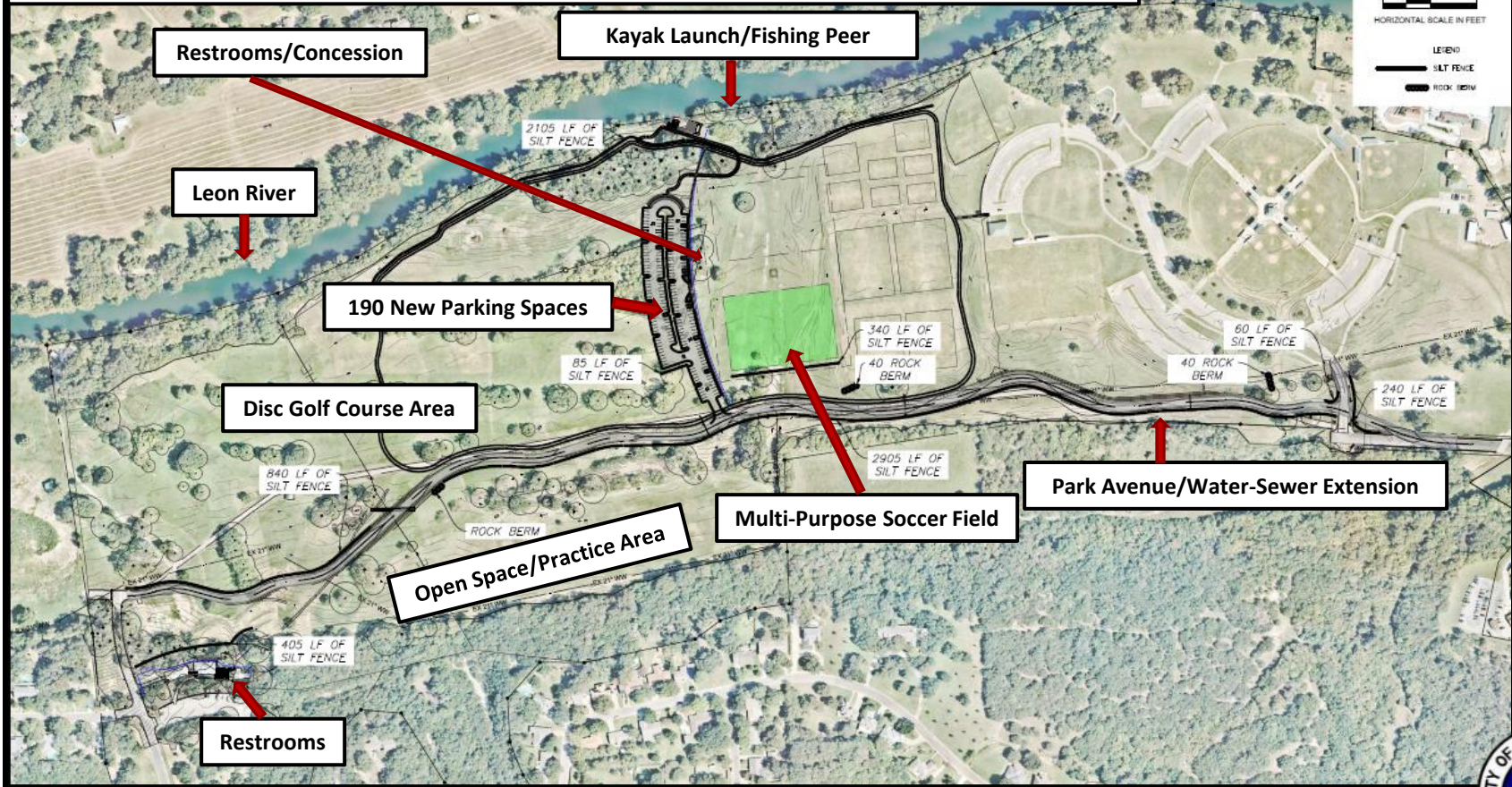
Project	Project Budget
East Street Improvements (Complete)	350,000
IH-35 Water Line (Complete)	1,800,000
IH-35 Sewer Line - Capitol Seating (Complete)	50,000
IH-14 Water Line (Complete)	500,000
Avenue D Extension (Bid in Fall)	\$2,500,000
Rockwool Site Enhancement – EDA Grant Match \$2.0M EDA Grant (Design)	500,000 (match)
Loop 121 Cost Share – Phase 1 (Complete Summer 24)	850,000
IH-14 Sewer (Easement Acquisition)	1,320,000
TOTAL	\$7,870,000

Major City Water/Sewer Projects

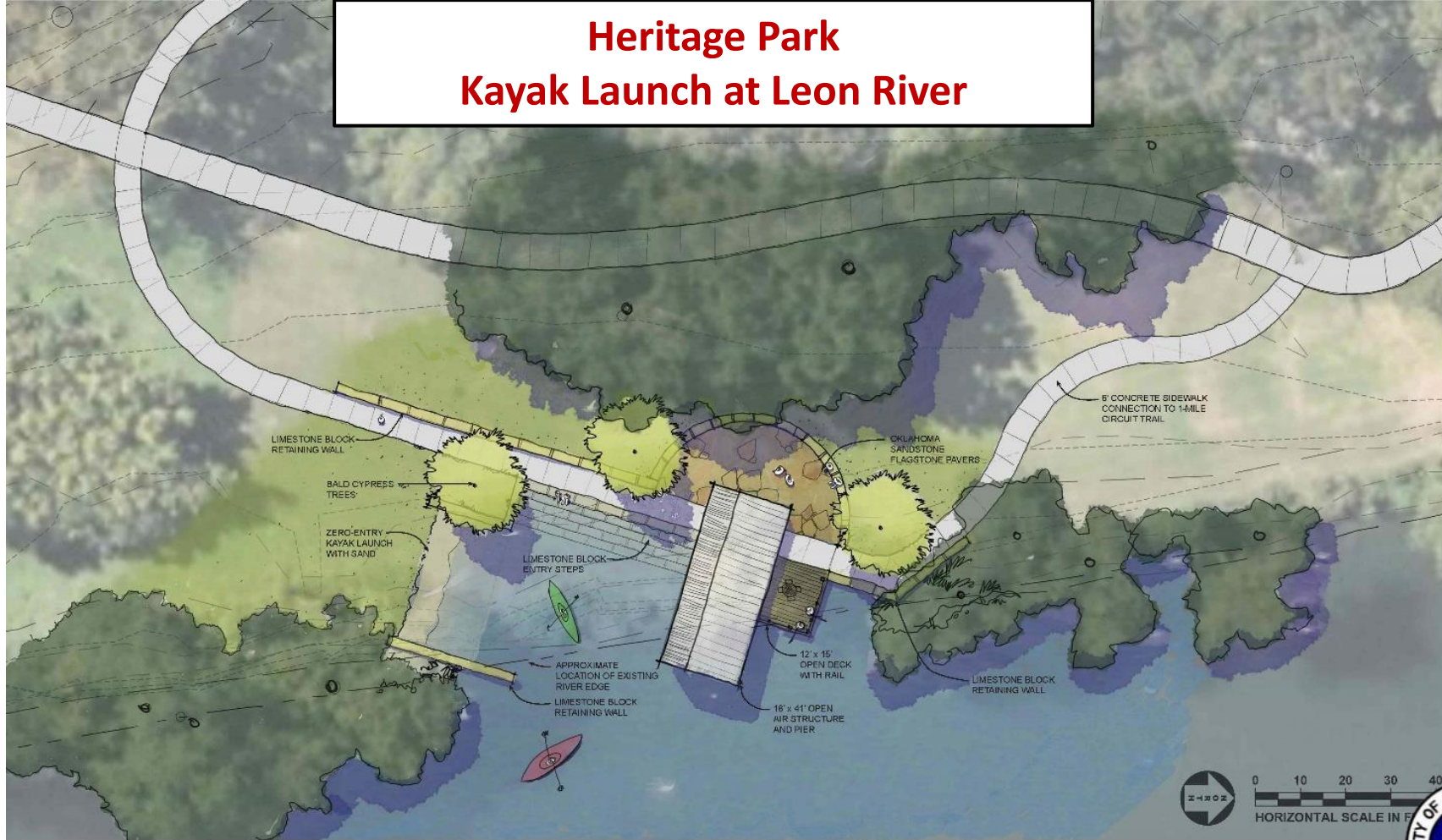
South IH 35 Water:	Complete
South Belton Sewer:	Construction Complete Generator Installation, Testing
NW Belton Water Tank:	Third City Tank Construction Complete
TBWWTP Rehab:	Partnership Temple/Belton Phase 1 Complete Phase II Construction to begin in 2024



Heritage Park Development Underway



Heritage Park Kayak Launch at Leon River



0 10 20 30 40

HORIZONTAL SCALE IN FEET



Kayak Launch at Heritage Park Under Construction



Underway TxDOT Projects



Loop 121 Widening, FM 439 to IH 14: Phase 1

- Objective: TxDOT widening Loop 121
- Project Scope: Widen from 2 lanes to 4 lanes with medians for turning movements
- Status and Schedule: Underway
 - BEDC provided the funds for the local cost share: \$848,338.50 – 10% ROW/non-City utility costs; City funded City utility relocations
 - Project Completion: June 2024

Loop 121 Widening, IH 14 to IH 35: Phase 2 – High Priority, Design, 2025

Loop 121 Widening, IH 35 to FM 436: Phase 3 – Medium Priority, Unfunded/Unscheduled



Future Projects FM 93 Widening



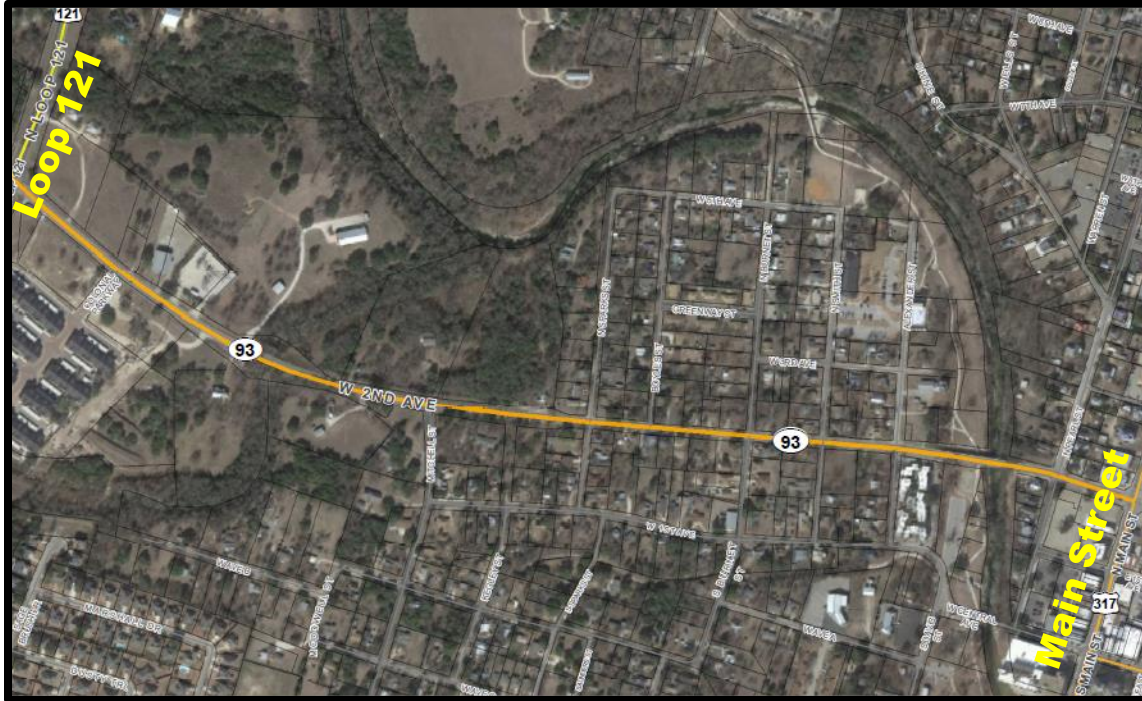
Phase 1:

FM 93 Widening
Main to Loop 121

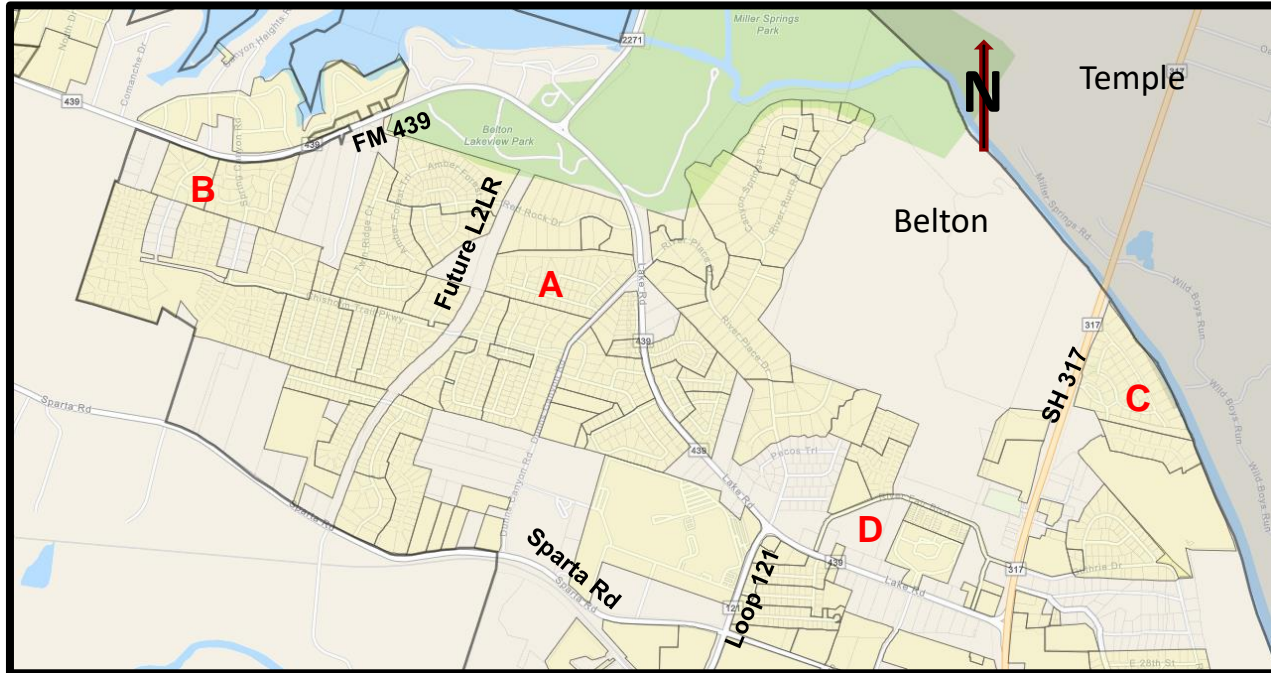
Phase 2:

Loop 121 to Wheat Rd.

- TxDOT selected engineering consultant
- City responsible for ROW, utility relocation



Belton Residential Development - North

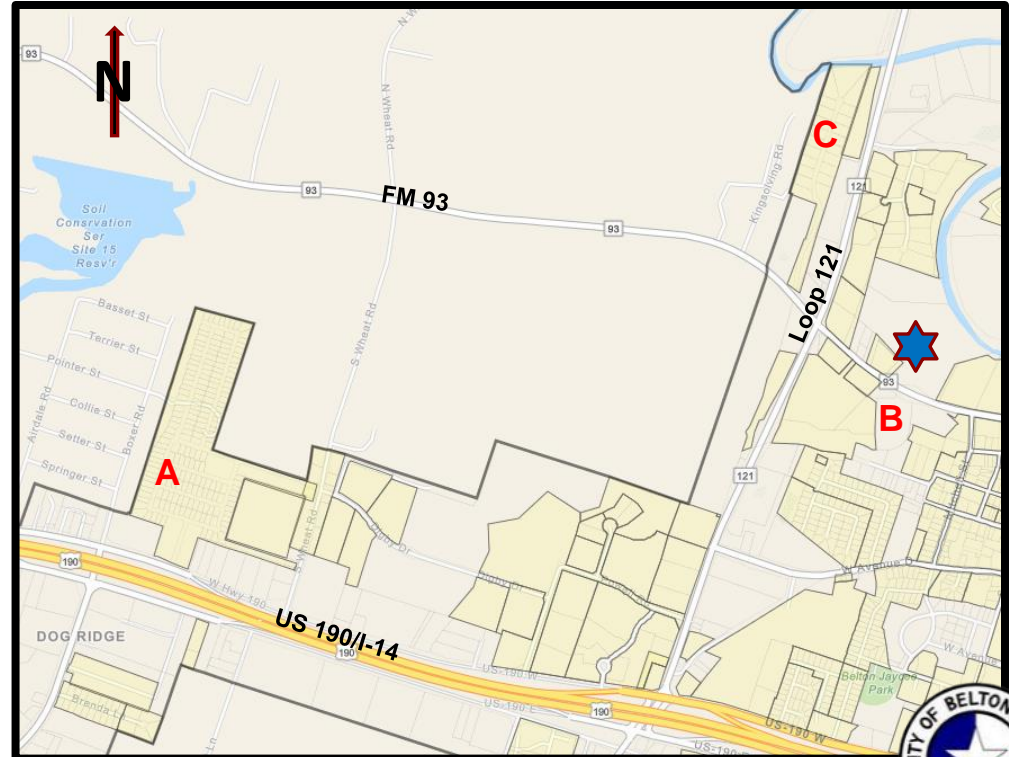


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|----------------------------|------------------------|---------------------|----------------------|
| A. Bluffs at Dunn's Hollow | 55 lots/40 Permitted | C. Mystic River | 44 lots/31 Permitted |
| B. Dawson Ridge Addition | 142 lots/127 Permitted | D. Woodland Cottage | 66 Units |

Belton Residential Development - West

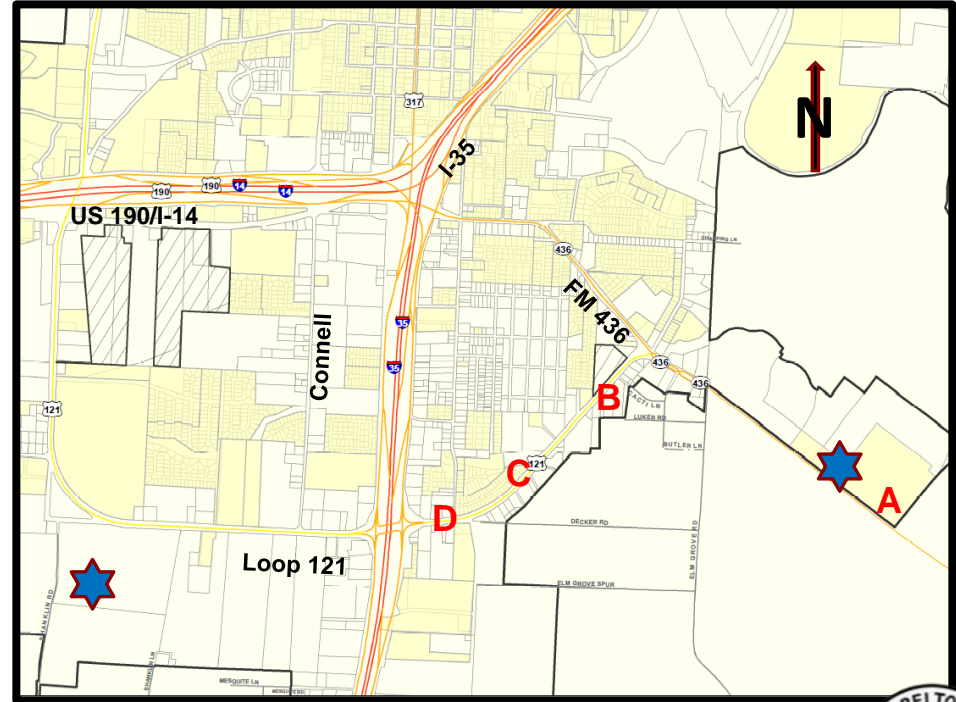
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|---|--|
| A. Sendero Estates | 203 lots
196 Permitted |
| B. Colonial Crossing
Apartments Phase II | 132 new units
Under
construction |
| C. Creekside Estates | 22 lots
17 Permitted |

 Future BISD School Site



Belton Residential Development - South (1 of 2)

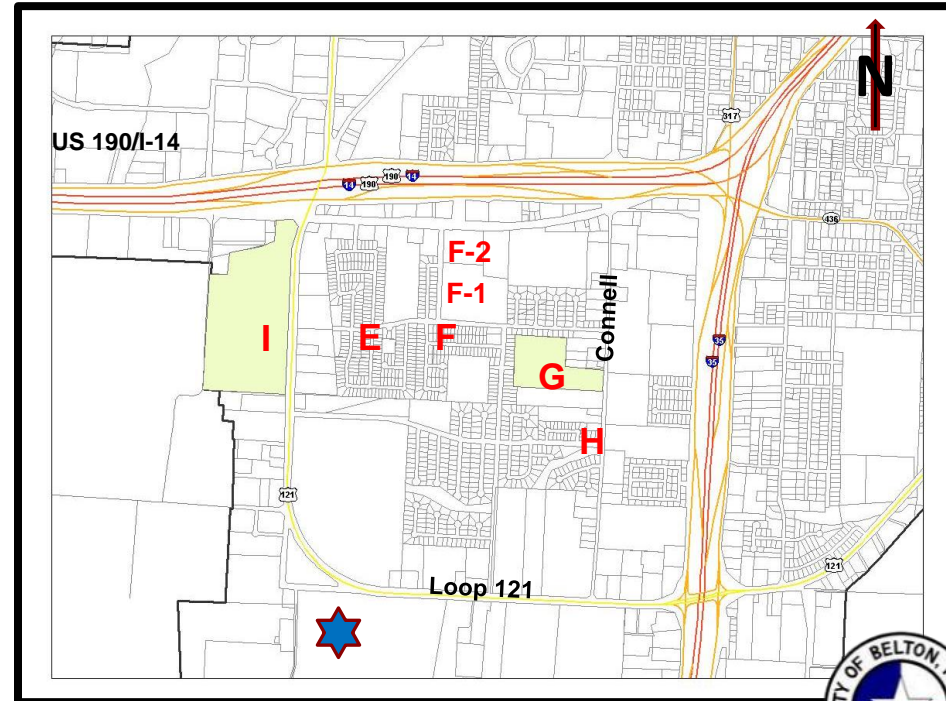
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|--|-----------------------------|
| A. Hubbard Branch | 500 lots (total) |
| Phase I | 177 lots platted |
| Phase II | 147 permitted |
| Phase II | 198 lots platted |
| B. Royal Heights TH | 55 lots/55 permitted |
| C. Hidden Trails | 256 lots proposed |
| D. South Wall Est. - du 19 (new duplex) | 38 Units |
| | 17 permitted |

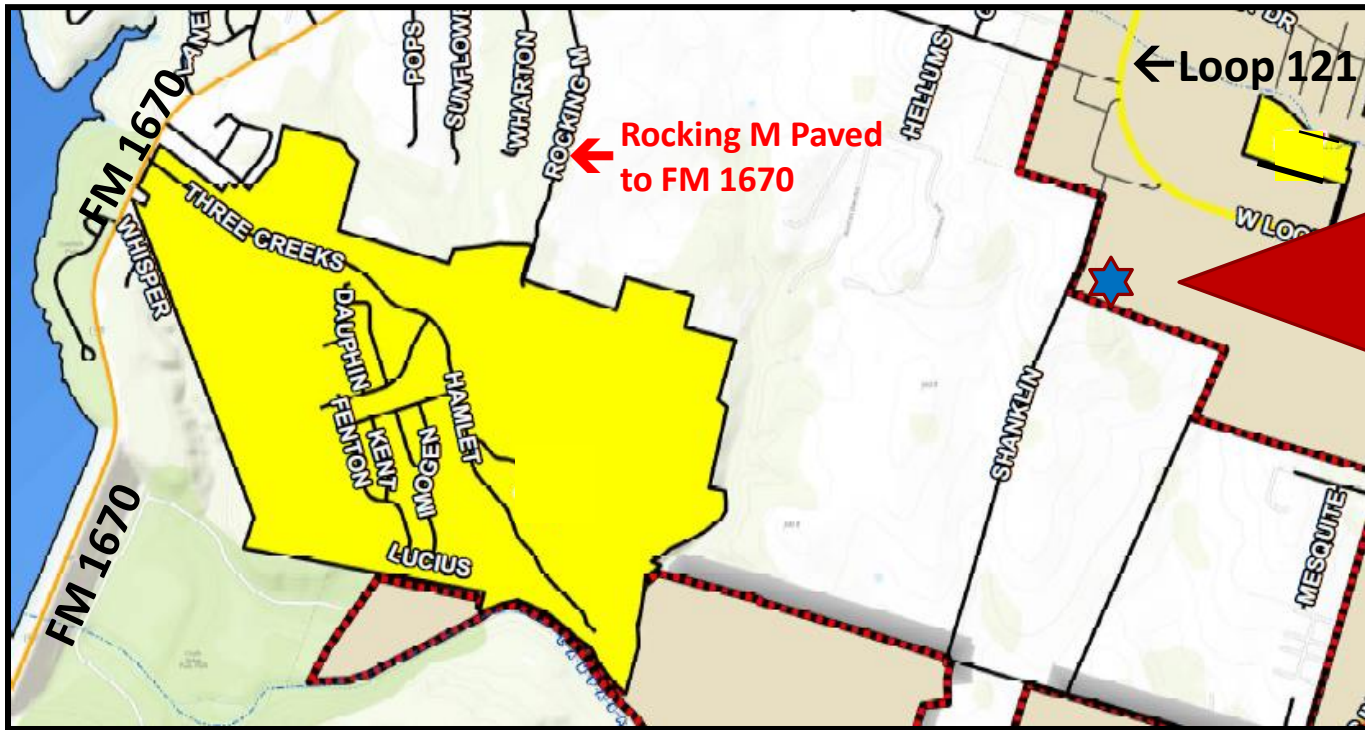


Belton Residential Development - South (2 of 2)

E. West Canyon Trails 1-4	226 lots 133 permitted
F. Ridge at Belle Meadows	150 lots/32 permitted
F-1 City Lights Apts.	120-units (duplex) 37 permitted
F-2 Crossroads at Belton	120-unit Apts. under construction
G. Southwood Hills Ph. III	116-unit Apts. 79 permitted
H. Connell Subdivision	27 lots - under constr. 13 permitted
I. Skyview Belton Addition	196 Lots proposed

★ Future BISD School Site





Future BISD
School Site

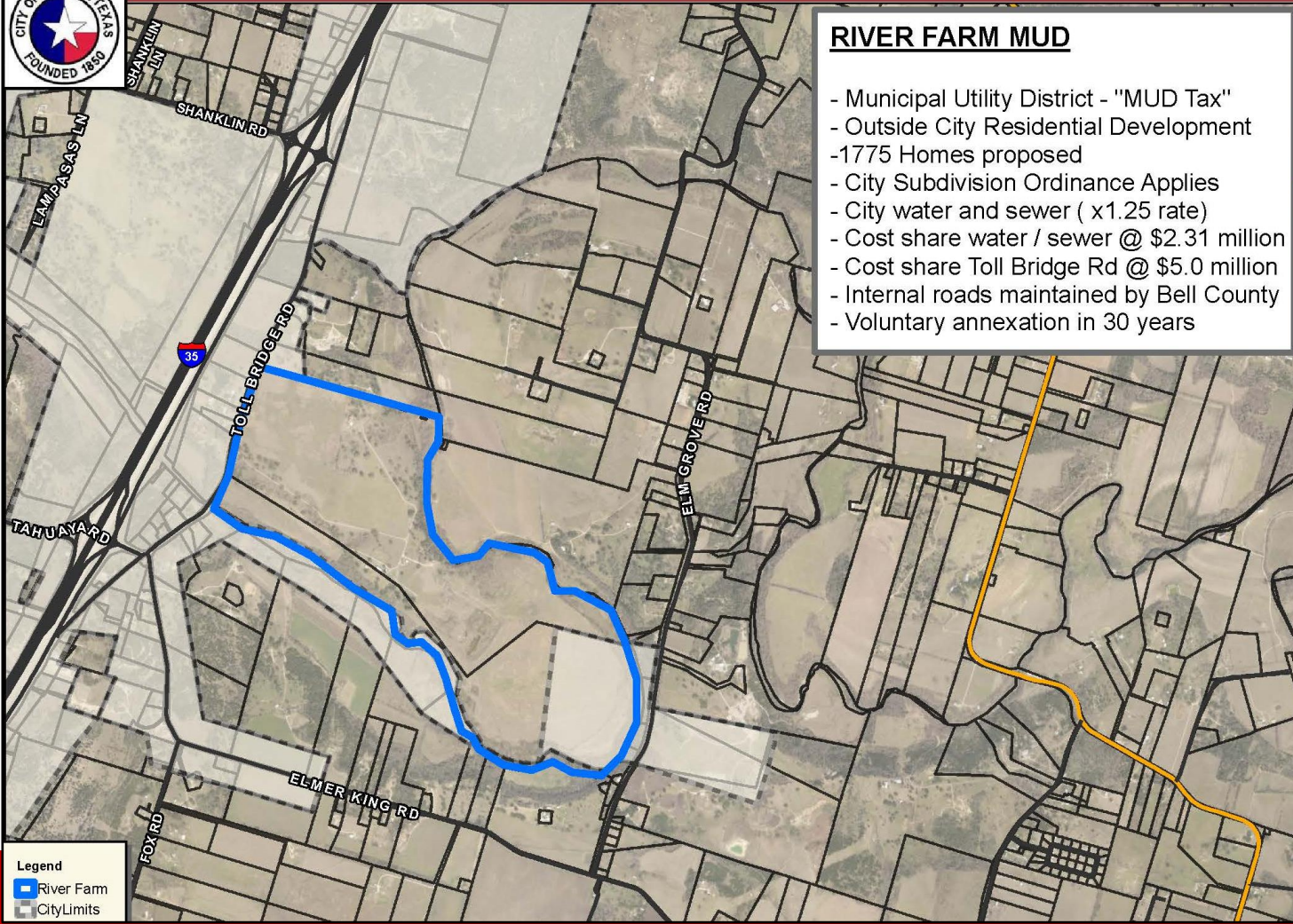
Three Creeks Development – 1,619 lots (ETJ)

Lots Final Platted – 1,619

New Houses Permitted YTD – 1,193



RIVER FARM MUD



- ### RIVER FARM MUD
- Municipal Utility District - "MUD Tax"
 - Outside City Residential Development
 - 1775 Homes proposed
 - City Subdivision Ordinance Applies
 - City water and sewer (x1.25 rate)
 - Cost share water / sewer @ \$2.31 million
 - Cost share Toll Bridge Rd @ \$5.0 million
 - Internal roads maintained by Bell County
 - Voluntary annexation in 30 years

Legend

-  River Farm
-  City Limits



Belton Residential Development 2019 -2023

Permit Summary (dwelling units)

	To Date				
	2019	2020	2021	2022	2023
<input type="checkbox"/> Single Family (SF)	100	141	278	92	13
<input type="checkbox"/> Two Family or Duplex (2F)	40	8	39	62	0
<input type="checkbox"/> Townhouses		8	16	4	10
<input type="checkbox"/> Single Family (SF) in Three Creeks Subdivision (ETJ)	158	206	142	94	8
Totals	298	363	475	252	31



Recent Commercial Development



Recent Developments

- ❖ USA Capitol - Groves Rd. & Capital Way
- ❖ Tarco Expansion - 2403 Taylors Valley Rd.
- ❖ Fikes Commissary Distribution - 1000 Kirkley Drive
- ❖ Taco Town - NWC 13th and Main Street
- ❖ Linnemann Building – 202 E. Central Ave
- ❖ Starbucks – N. Main Street @ River Fair



Upcoming Commercial Development

- ❖ IH 35 Truck Stop – 8101 S. IH 35
- ❖ Belton RV Park – 3360 S IH 35
- ❖ Wendy's– NWC N. Main Street and River Fair Blvd.
- ❖ Pop Shelf – FM 439/TX 317
- ❖ R&R Industries – 7349 W. Hwy 190
- ❖ Expo Center – Warm Up Arena – 301 W. Loop 121
- ❖ Bell County Museum Storage – 640 Kennedy Court
- ❖ Bell County Justice Center – 1201 Huey Drive
 - Minimum Security Building – 192 beds
 - Housing Tower Addition – 785 beds
 - Diversion Center – Acquired Luvida Memory Care, 2400 Piazza Dr.
 - Jail Administration Addition - 14,300 sq. ft.
 - Bond Visitation and Courts - 5,200 sq. ft. addition; 9,000 sq. ft. renovation
 - Medical Facility – 11,250 sq.ft. addition; 8,350 sq. ft. renovations



Downtown Development Depot Restoration

- Investment by Terry/Luke Potts
- 9 Businesses
- 41 Employees to Date
- City/FUMC Parking Use Agreement



Open

Railway Express Diner
100X35 Latin Cuisine
Off The Rails Wine Bar
Warm Cookie Company
Sly Fox Coffee House

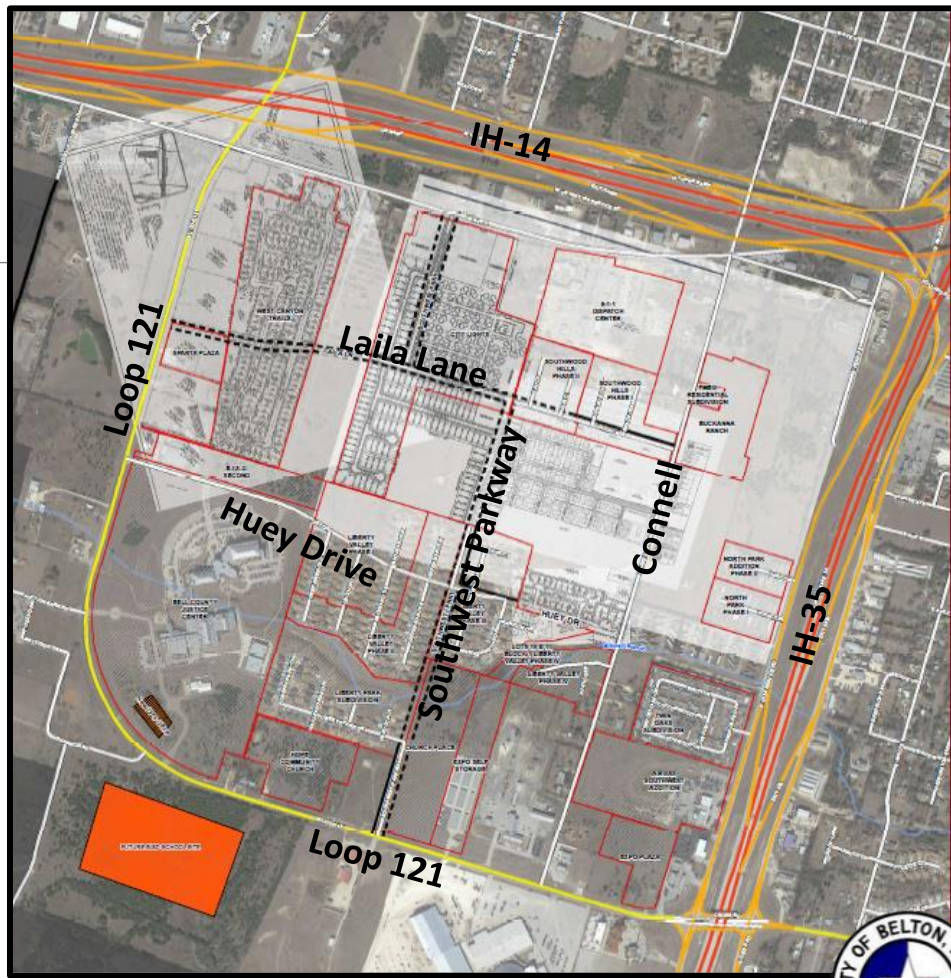
Opening Summer 2023

Blackbird Books and Spirits
Early Light Creperie
Pizza PieRos
Z&H Candy, Toys, & Soda



Significant Infill Development

- S. Loop 121 Development
- Loop 121, IH 35, IH 14
- 2,000+ dwelling units planned
- Justice Complex Expansion
- Southwest Parkway Extension Planned/Scheduled
- Connell Street Upgrade Needed; Unfunded



Imagine Belton

- Project initiated by BEDC Board with Resolution of support by BEDC, the City of Belton and Bell County.
- Covey Planning and Landscape Architecture developed a concept plan for an expanded Downtown Belton.
- Goals include creating a vision of what might be done to improve Downtown Belton, to utilize our existing resources, and to serve as a catalyst for private and public investment in our city.
- Planning well underway by BEDC, private investors, and City to develop flexible standards for development, redevelopment.



Pending Items

- ❑ City's FY '22-'23 Street Maintenance Plan Project: \$1,650,000
- ❑ Hubbard Branch Elementary School: Serving 800 Students
- ❑ Imagine Belton Plan Implementation: Underway



Issues, Concerns, Things to Watch

- Economy cooling down, interest rates fluxuation
- Residential building permits declining
- Sales taxes impacted by reduced construction activity
- Material costs – lumber, concrete, steel increasing effects on operations
- Area remains attractive and will remain strong, but challenges:
 - Maintaining adequate city staffing
 - Assuring adequate compensation for municipal employees
 - Delivery of services with available resources – property tax, sales tax, fees
- Water for future growth
- State Legislature that seems to consider cities a nuisance



Future Challenges

- Strategic Plan Update conducted on April 4th will guide us for next 10 years – facilities, staffing
- Managing Growth – land use, water, sewer, traffic, housing
- Maintaining Belton's unique character
- Funding priority needs without overburdening citizens



Thankful for our Partnerships

- ❑ Chamber of Commerce
- ❑ BEDC
- ❑ BISD
- ❑ Belton Rotary Club
- ❑ Bell County
- ❑ TxDOT
- ❑ UMHB
- ❑ KTMPPO
- ❑ Lions Club
- ❑ CTCOG





This is what
it's all about:

Maintaining
Belton's
Quality of Life

